



47 Flat Street LLC  
Design Review Committee  
June 12, 2020

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<b>OFFICE USE:</b>	TAX MAP NO: _____
APPLICATION NO.: _____	APP. FEE PAID: _____
DATE RECEIVED: _____	RECIPIENT: _____
Property Owner's Deed BOOK _____ PAGE _____	DATE RECORDED _____ NEIGHBORHOOD _____

**APPLICATIONS WILL NOT BE REVIEWED UNLESS THE REQUIRED APPLICATION FEE HAS BEEN RECEIVED**

**FORM A  
GENERAL APPLICATION FOR ZONING PERMIT  
TOWN OF BRATTLEBORO, VERMONT**

**ALL SECTIONS MUST BE COMPLETED. INCOMPLETE APPLICATIONS WILL NOT BE CONSIDERED**

**1. APPLICANT**

name: last Morse first Skye

business name (if different from above) 47 Flat Street LLC.

mailing address (street or box no.) P.O Box 1586

city Brattleboro state VT zip code 05302

telephone numbers: business 802-257-9329 home \_\_\_\_\_ e-mail \_\_\_\_\_

**2. PROPERTY OWNER:**

name: last Johnson first Peter

business name (if different from above) BQ Realty LLC

mailing address (street or box no.) 52 Elliot St.

city Brattleboro state VT zip code 05301

telephone numbers: business \_\_\_\_\_ home \_\_\_\_\_ e-mail \_\_\_\_\_

**3. PROJECT LOCATION:** street number 47 street name Flat St.

**4. HOW IS THE PROPERTY USED NOW?**

The property is currently unused and uninhabited. The building is a four story brick masonry warehouse building and is listed as contributing to the Downtown Brattleboro Historic District.

number of dwelling units \_\_\_\_\_ number of bedrooms \_\_\_\_\_ new bedrooms proposed \_\_\_\_\_

Please describe any accessory structures (secondary or auxiliary buildings) that are on the property.

**5. WHAT WORK IS PLANNED UNDER THIS PERMIT? (construction, subdivision, installation, or change of sign, etc.)**

Please be specific. Application must include number of stories and square footage of gross floor area for all construction.

The proposed project includes the renovation/conversion of a four story brick masonry warehouse building into a building that supports multi-family affordable housing and co-working space. The building currently encloses approximately 17,204 sq. ft. of area, of which 13,840 sq. ft. is above ground, and 3,364 sq. ft. is basement. Proposed additions outside the existing envelope total approximately 1,470 sq. ft. bringing the total gross area (including basement and penthouses) to approximately 18,290 sq. ft. The buildings first floor will be office space for co-working. The 2nd 3rd & 4th floors will have a total of 15 apartments. 9 studios and 6 one beds. Negotiations have been made for easements to the proposed entrance which will now be on the east façade of the building and a construction easement for material storage/staging during the construction process. There is an existing easement for the stair tower on the north side (back) of the building. The building at 47 Flat Street is not in the flood zone, however, a piece of the sidewalk at the south end of the site is believed to be in the flood area. This small zone is believed to be on town land.





June 5, 2020

Sue Fillion, Planning Director  
Town of Brattleboro  
230 Main Street  
Brattleboro, VT 05301

RE: 47 Flat Street, the Emerson-DeWitt Building, Design Review Committee Project Overview  
Project #18-076

Dear Sue:

Thank you for meeting with us the other day. As we discussed, we are providing a project overview, schematic level floor plans and elevations, and concept level site plan for the committee's review.

As you know 47 Flat Street has been vacant for a number of years. 47 Flat Street LLC proposes to acquire and substantially renovate the building into a mixed use building with co-working office space on the first floor and a total of 15 affordable apartments on the 2<sup>nd</sup>, 3<sup>rd</sup> and 4<sup>th</sup> floors.

The building currently encloses approximately 17,204 sq. ft. of area, of which 13,840 sq. ft. is above ground, and 3,364 sq. ft. is basement. Proposed additions outside the existing envelope total approximately 1,470 sq. ft. bringing the total gross area (including basement and penthouses) to approximately 18,290 sq. ft.

The building is of masonry construction consisting of stone foundation walls with load bearing brick perimeter exterior walls. The floors and roof are of "mill type" construction with principal beams and a plank floor. Significant exterior masonry repair and repointing will be required. A new roofing membrane with insulation will be installed on the main building flat roof, with the new addition and penthouse to receive standing seam metal roofing. The basement will house mechanical and electrical utility rooms, maintenance facilities and attic-stock space, tenant storage, bicycle storage, tenant laundry, and additional shared building space.

A new exit stair will be constructed within the building footprint in the center of the eastern half of the building, connecting four floors plus the basement, exiting out the first floor through an entry foyer. A new five-stop elevator will be constructed inside the footprint of the building, adjacent to the internal stair, near the center of the building. An addition to the north side of the building will include an exit stair connecting the basement, four floors, and the roof, egressing at grade at the northwest corner of the building. Roof access via this external stair is provided to access to a mechanical equipment penthouse located on the roof. The east end of this addition will also incorporate three new offices on the first floor level. Residential floors will each contain three Studio units and two 1-Bedroom units. All residential units contain a kitchenette and one full bathroom.

The Emerson-DeWitt Building is a contributing structure to the Downtown Brattleboro Historic District. We are working with Lyssa Papazian, historic consultant, and Caitlin Corkins, Tax Credits and Grants Coordinator for the VT Agency of Commerce and Community Development, to have the building listed on the Historic Register. As such, all work on the building will be held to the Secretary's Standards. The

HPCA Part 2 application addresses many features of the building, below are excerpts from the Part 2 submission detailing plans for the treatment of the facades, windows, doors, new stair addition, roof/mechanical penthouse.

**Architectural feature: masonry walls**

**Approximate date of feature: c.1900/c.1920**

Describe work and impact on existing feature:

The brick will be repointed in kind with a matching mortar (hardness, sand content and color) where necessary. Areas of extreme damage and deterioration will require repair and some replacement of brick with a matching new or salvaged brick. The repointing will be done by gentle methods and brick and mortar matching will be done following the Secretary of the Interior's Standards for Rehabilitation.

**Architectural feature: Exterior trim**

**Approximate date of feature: c.1900/c.1920**

Describe work and impact on existing feature:

All stone and concrete trim will be preserved. Wood trim will also be preserved and repaired. Where severe deterioration exists in some wood window trim, the pieces will be replaced in kind.

**Architectural feature: Exterior doors**

**Approximate date of feature: c. 1920, 2000s**

Describe work and impact on existing feature:

On the front façade, the current stooped entry with a glass and aluminum door insert (in the second bay from the west) will be preserved. It was one of the two original front doorways. Pending confirmation that the stoop (which doesn't meet code currently with an immediate step down to a landing) could be grandfathered for use on a non-emergency only basis, the current door and surround will be kept. If the stoop can't be used, it will be kept in place and the doorway infilled with glass storefront. The other original doorway in the easternmost bay of the front façade will have the current infill of plywood and other non-historic wood framing removed and instead will be infilled with a glass and aluminum storefront assembly. The westernmost bay of the front façade – not one of the original doorways – has been infilled with wood since before 1981. It will have the wood infill removed and be infilled instead with a glass and aluminum storefront assembly.

On the east elevation, a new entrance, stair and ramp will be created in the center bay at the current hoistway doorway. The wood glazed and paneled double leaf doors in poor to fair condition will be salvaged as feasible for use on the interior. A new glass and aluminum assembly with a transom, and side panel and fully glazed door will be inserted. The two upper-story hoistway doors will remain in place as fixed and left exposed on the exterior (without the one set of metal shutters). If possible, there will be an inner modern window matching the upper glazed panels in the apartments while the doors and surround are insulated and sealed. If the window idea is not feasible, the sealed doors will be sheetrocked over on the interior with black painted sheetrock showing through the glass on the exterior.

On the rear (north) elevation, the rear set of doors on the first floor will be removed and the opening closed because the rear stair tower will be adjacent to that wall. The doors will

be salvaged and re-used somewhere on the interior of the first floor.

**Architectural feature: Windows/ storm windows**  
**Approximate date of feature: c.1900 & c.1920, 1970s**

Describe work and impact on existing feature.

The historic windows have been evaluated as noted above to be in poor to fair/good condition. There appear to be enough historic sashes in good condition to restore all the forty-six windows on the front and east elevation first through fourth stories. All the windows on these two, most visible, elevations will be repaired or replaced with historic sash in better condition. The restored windows will get new interior Allied storm windows. If there are not enough feasibly salvageable sash for all windows on these elevations, a priority will be given to the first three stories and the fourth story may then get a replacement window that closely matches the ones below. There is a brick corbel course between the third and fourth stories which sets the fourth story apart visually.

The fifteen windows of west elevation along the alley with the parking garage will receive matching window replacements and any sash in good condition salvaged for use on the south or east elevations. There will also be thirteen new window openings added on the currently blind areas of the elevation.

There will be a stair tower covering two bays of the rear, north elevation. Eight extant windows of this elevation will receive matching replacement sash. The bricked-in second floor window opening will be restored and also receive a replacement sash. Three of the current window openings will be converted to a doorway where the stair tower will be installed. Three window openings will be removed and infilled, the sash salvaged for possible re-use on the south or east elevations. There will be three new windows on the new rear first story addition and four new windows on the fourth story. The windows in the third bay from the east on the second through fourth stories (including the restored 2nd fl. window opening) will be in a kitchen where the counter will cross the window. The back of the cabinet facing the bottom half of the window will be painted black.

All new windows on both west and north elevations will be insulated, clad wood with one-over-one light sash to distinguish them as new.

Sash replacement on the west and north elevations will be done with a matching insulated eight-over-eight or eight-over-one-light SDL metal clad wood sash and balance kit (Marvin Magnum or similar) – to fit within the existing trim features. The replacement sash will be made to match the existing on the interior and exterior as closely as possible.

At the raised basement level, the northern two windows on the east elevation will be removed and the openings infilled with recessed brick clad block. They will be behind the new ramp. The rest of the basement windows will be restored and sealed with an interior storm and receive an exterior flood barrier shield. This is a slip-in panel that is applied during flood threat. It needs to be 30" high due to the site history of severe flooding during Tropical Storm Irene in 2011. This means the necessary shield product won't fit within the window frame as is typical. The shield drops into channels fixed to brick on the either side of each window opening. The shields are stored onsite when not in use. The channels which remain on the building can be painted black or brown to minimize visual effect.

**Architectural feature: Rear addition/loading dock**  
**Approximate date of feature: c. 1990**

The extant rear addition/platform will be removed and replaced by a new stair tower and one-story rear addition. The stair tower addition will start in the second bay from the west on the north elevation leaving the first extant window bay exposed and restored. The other extant original window on the rear first story (now within the rear addition) will be removed and the opening converted into a doorway for the stair tower. The double leaf rear doors (between the two windows) will be removed and the opening infilled as it is covered by the stair tower. The original or historic pair of double leaf doors will be salvaged and re-used somewhere else on the interior plan.

The stair tower will be balloon-framed with HardiePlank or similar cementitious clapboard siding and will be 5-story to access the roof. There will be windows on each story on the east and west elevations and an egress door will access the parking garage alley on the west at ground level. A one-story, shed roofed, rear frame addition will extend from the stair tower east across the last three bays of the rear elevation. It will have similar cementitious clapboard siding, fiberglass shingle roof and new three new windows across the rear where small offices will be located. There will be a window on the addition's short east elevation as well.

**Architectural feature: Roofing/Chimney**  
**Approximate date of feature: late 20th century -2000s**

Describe work and impact on existing feature:

The extant chimney on the west will be preserved and possibly re-used for the HVAC system. The membrane roofing will be replaced in kind over insulation and new roof drains created. Some of the new mechanical equipment will be located on the roof – near the center-rear. A new partial deck will be built to access a new rooftop enclosure around mechanical equipment. This will connect to the new stair tower on the rear which will access the roof. The equipment enclosure will be kept to a minimum size and sided in dark colored metal siding. It will be only minimally visible from Flat Street. It will be visible from Elliot Street and the adjacent parking garage.

Thank you again for this opportunity to present our project to the Design Review Committee.

Please let us know if there are any questions regarding any of the material supplied. We look forward to speaking with you and the committee on the 12<sup>th</sup>.

Sincerely,



Jeremy Toal, AIA

Attachments

PROPOSED SCHEMATIC DESIGN  
FOR ADDITION AND RENOVATIONS TO

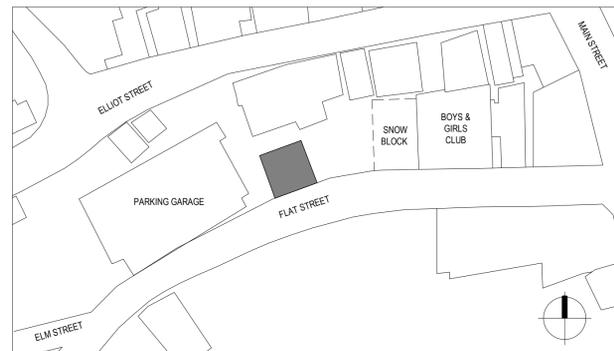
**DEWITT BLOCK**

47 FLAT STREET  
BRATTLEBORO, VERMONT 05302

PREPARED FOR:

**M & S DEVELOPMENT, LLC**  
95 MAIN STREET  
BRATTLEBORO, VERMONT 05301

**LOCATION PLAN**



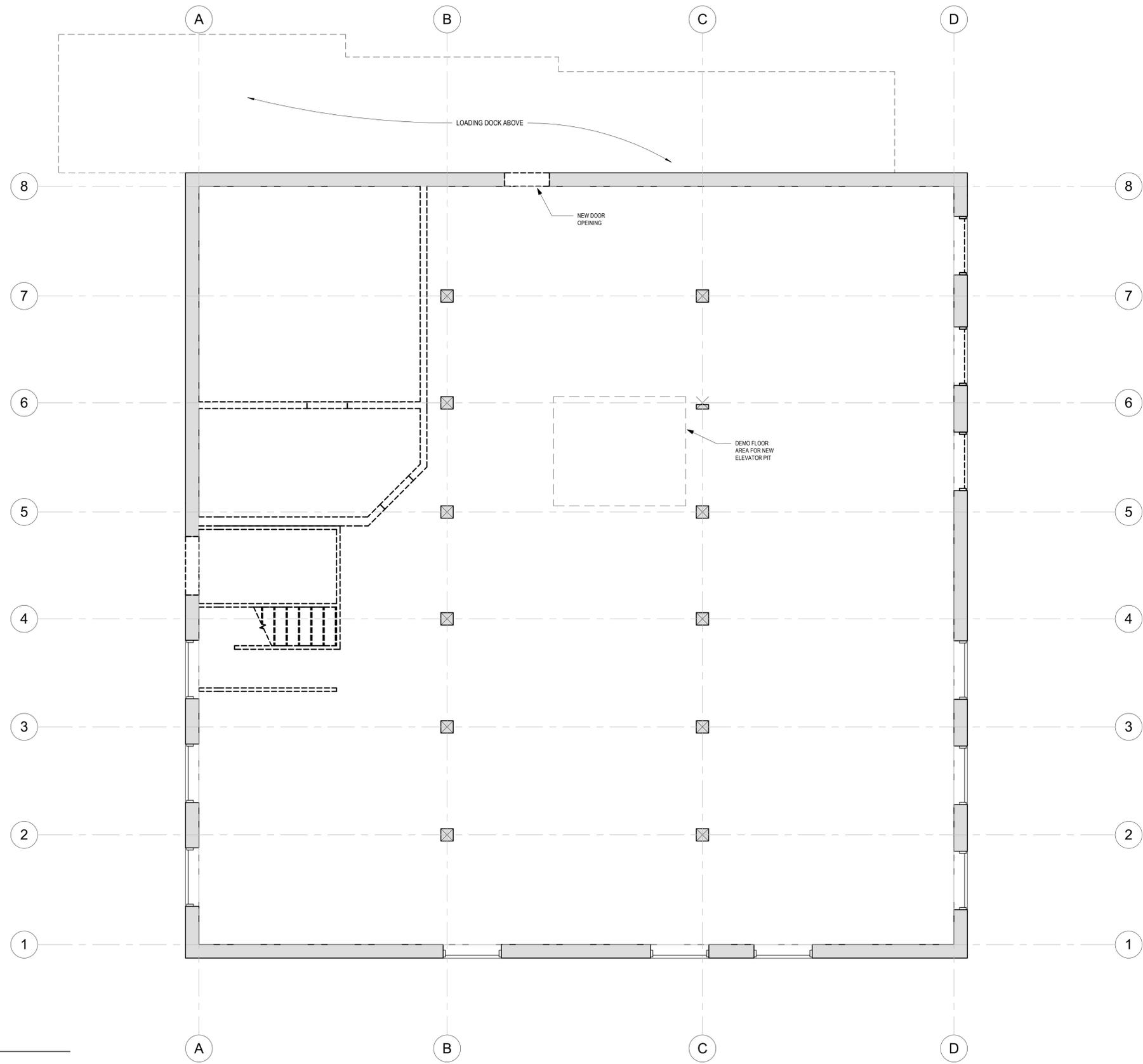
**DRAWING INDEX**

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AD-102	DEMO SECOND FLOOR PLAN
AD-103	DEMO THIRD FLOOR PLAN
AD-104	DEMO FOURTH FLOOR PLAN
AD-105	DEMO ROOF PLAN
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A-102	SECOND FLOOR PLAN
A-103	THIRD FLOOR PLAN
A-104	FOURTH FLOOR PLAN
A-105	ROOF PLAN
A-200	SOUTH ELEVATION
A-201	EAST ELEVATION
A-202	NORTH ELEVATION
A-203	WEST ELEVATION
A-300	BUILDING SECTION LOOKING SOUTH
A-301	BUILDING SECTION LOOKING WEST



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ARCHITECTS | ENGINEERS | LANDSCAPE ARCHITECTS  
PH: 802-257-9329 | F: 802-258-3892 | WWW.STEVENS-ASSOC.COM

PROJECT NAME:	47 FLAT STREET
DATE:	05/20/2020
PROJECT NUM:	18-076
DWG. NO.	
<b>T-100</b>	
SHEET	1 OF X



1 BASEMENT DEMOLITION PLAN  
Scale: 1/4" = 1'-0"

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**S&A**

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WWW.STEVENS-ASSOC.COM

PURPOSE OF DRAWING:  
NOT FOR CONSTRUCTION

47 FLAT STREET

47 FLAT STREET  
BRATTLEBORO, VT 05302  
PREPARED FOR:  
M&S DEVELOPMENT

REVISION:

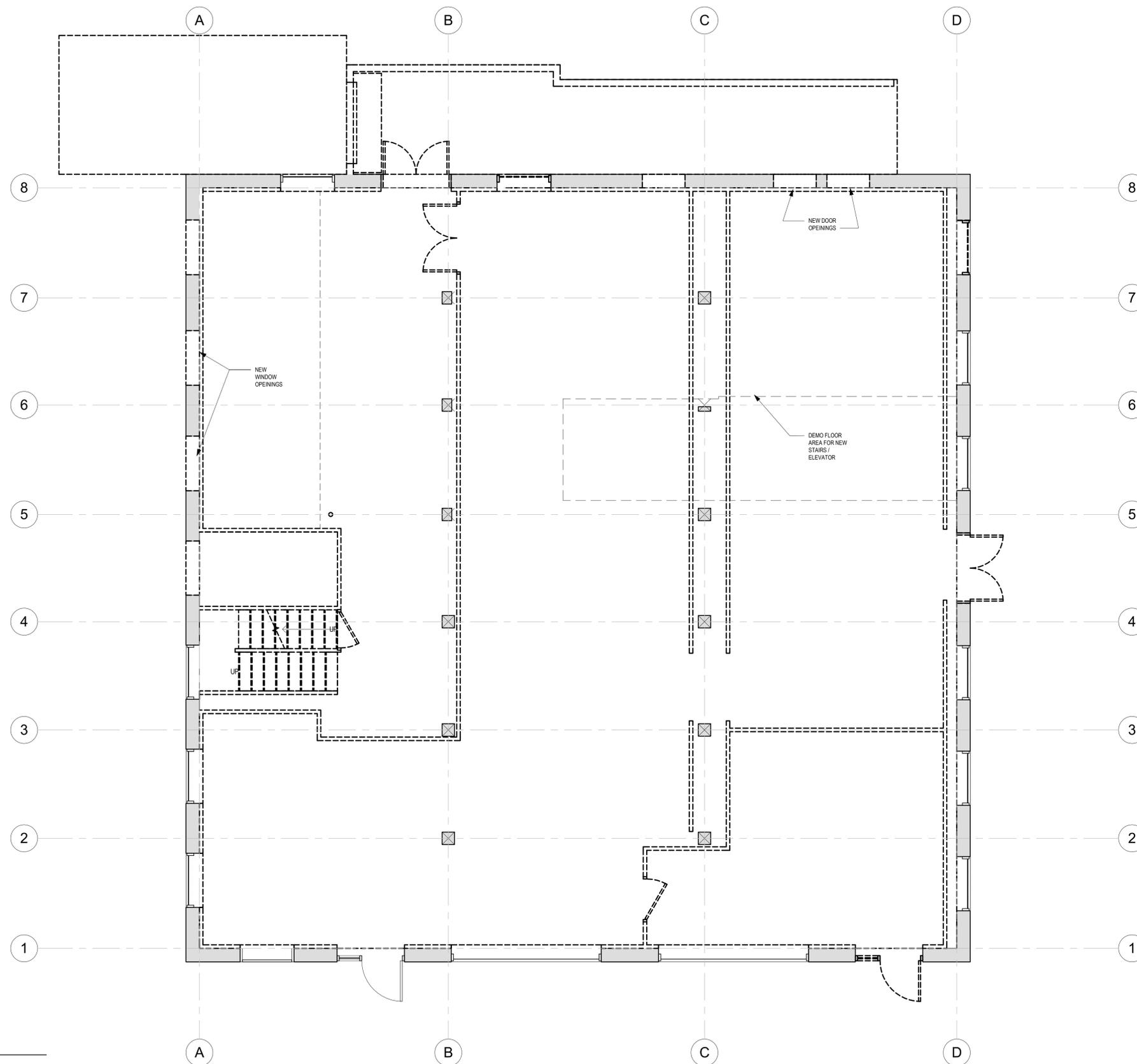
**DEMO BASEMENT PLAN**

DO NOT SCALE DRAWINGS

DES. BY	Designer
DWN. BY	Author
CHKD. BY	Checker
SCALE	AS SHOWN
DATE	06/27/2020
PROJECT NUM:	19-076
DWG. NO.	

**AD-100**

SHEET OF X



1 FIRST FLOOR DEMOLITION PLAN  
Scale: 1/4" = 1'-0"

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47 FLAT STREET

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REVISION:

DEMO FIRST FLOOR  
PLAN

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DWN. BY	Author
CHKD. BY	Checker
SCALE	AS SHOWN
DATE	06/27/2020
PROJECT NUM:	19-076

DWG. NO.

AD-101

SHEET OF X



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47 FLAT STREET

47 FLAT STREET  
BRATTLEBORO, VT 05302

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REVISION:

**DEMO SECOND FLOOR PLAN**

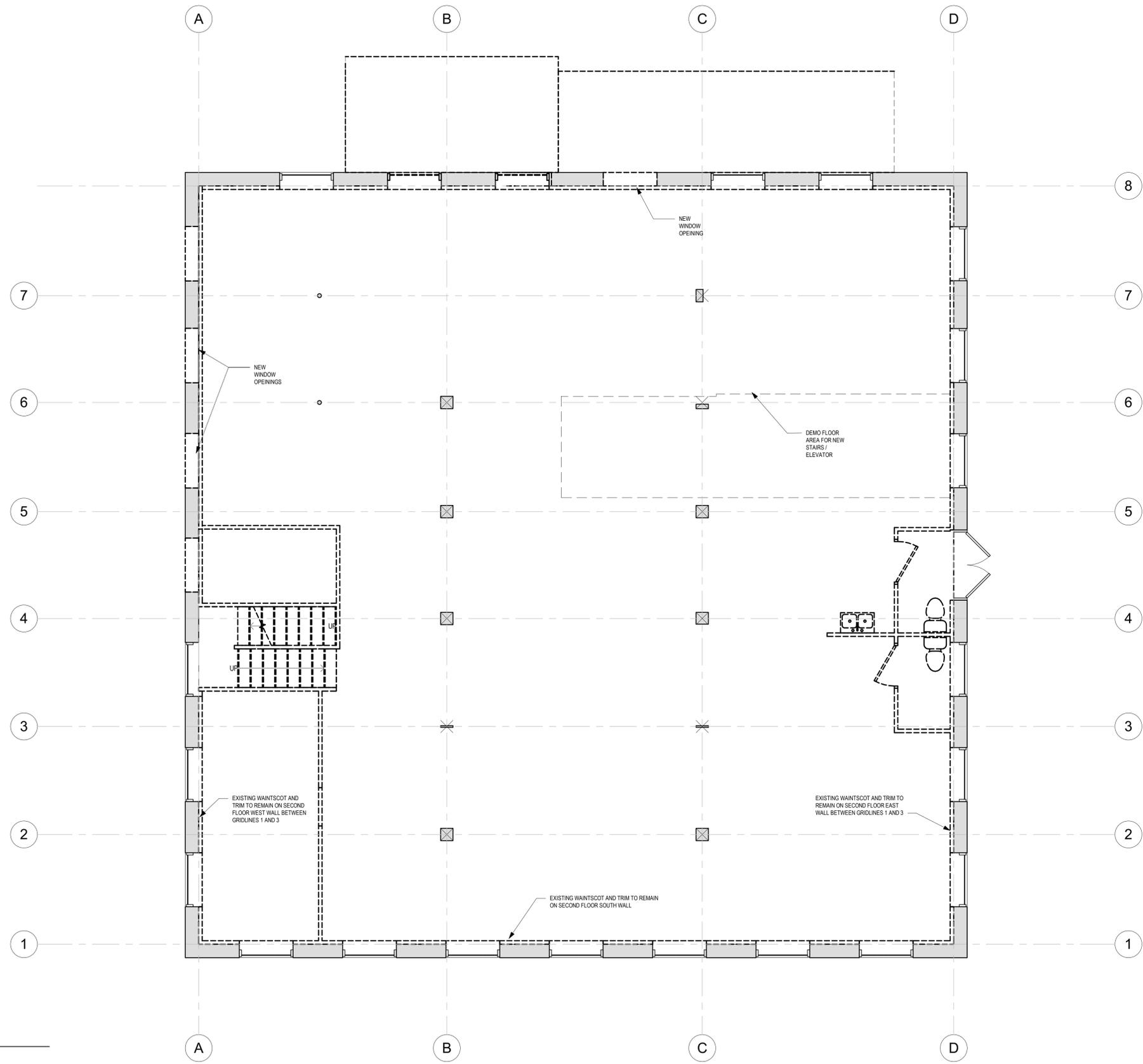
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DATE	06/27/2020
PROJECT NUM:	19-076

DWG. NO.

**AD-102**

SHEET OF X



1 SECOND FLOOR DEMOLITION PLAN  
Scale: 1/4" = 1'-0"



PURPOSE OF DRAWING:  
NOT FOR CONSTRUCTION

47 FLAT STREET

47 FLAT STREET  
BRATTLEBORO, VT 05302

PREPARED FOR:  
M&S DEVELOPMENT

REVISION:

**DEMO THIRD FLOOR PLAN**

DO NOT SCALE DRAWINGS

DES. BY \_\_\_\_\_ Designer

DWN. BY \_\_\_\_\_ Author

CHKD. BY \_\_\_\_\_ Checker

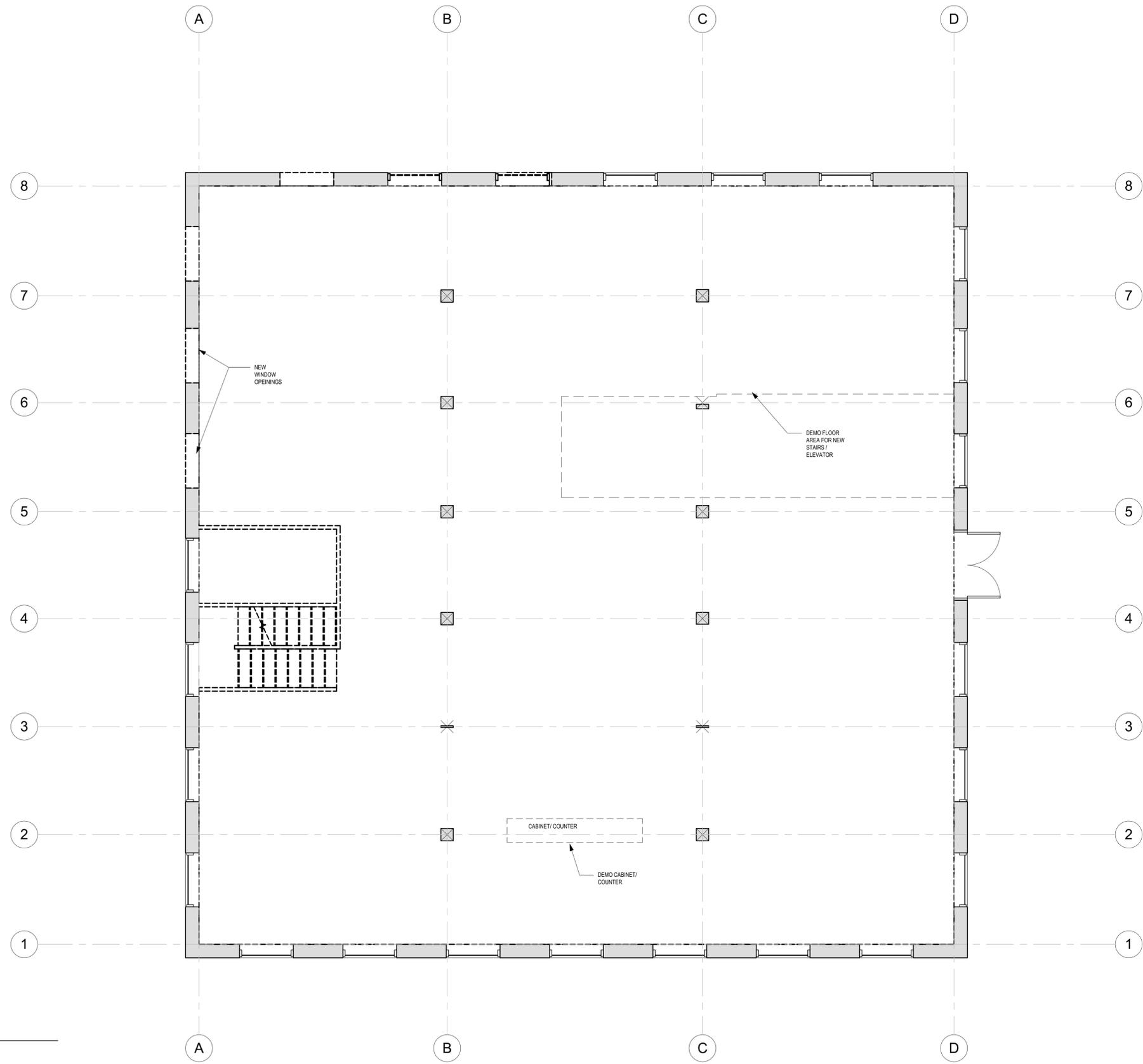
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DATE \_\_\_\_\_ 05/27/2020

PROJECT NUM: 19-076

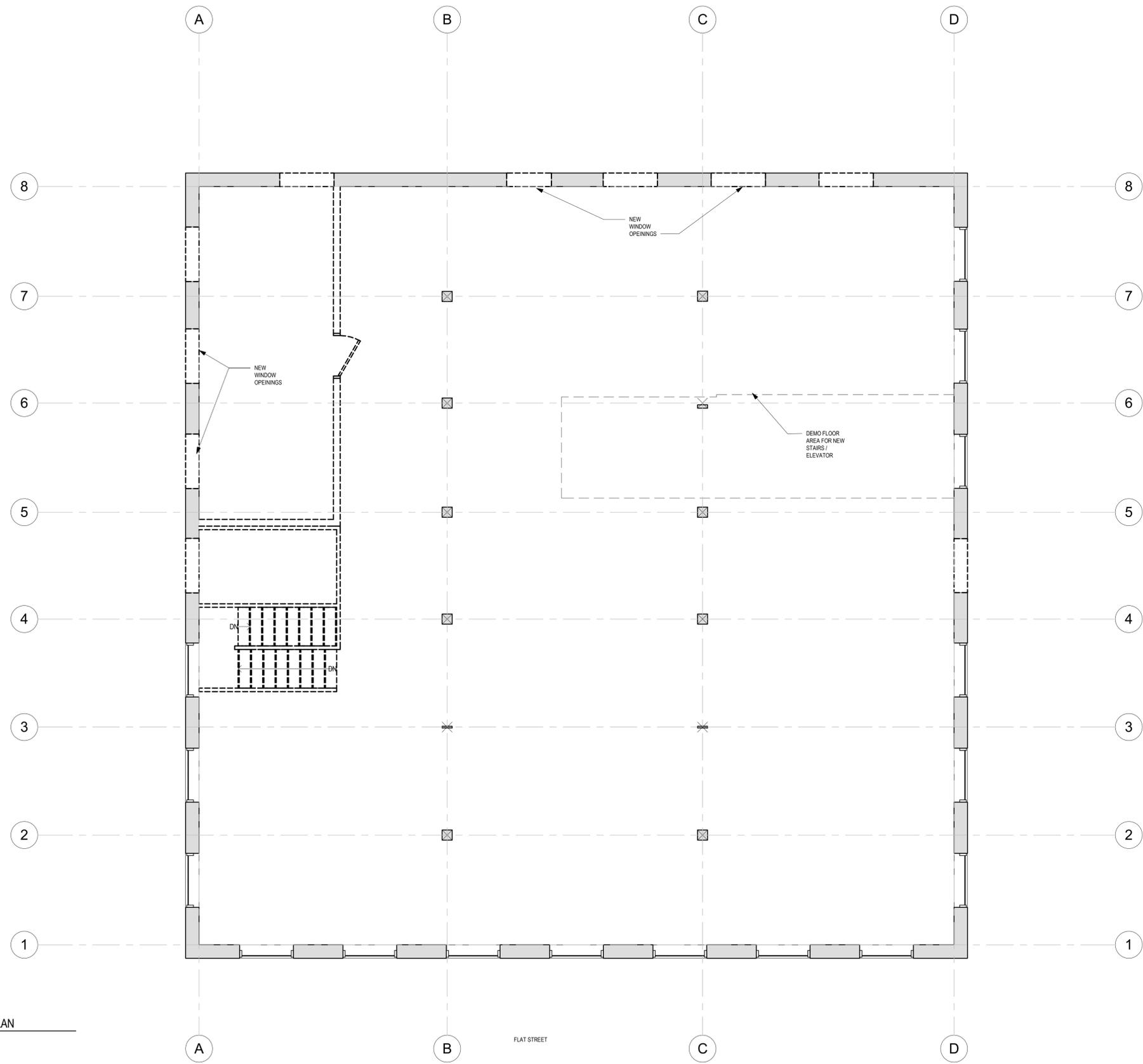
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SHEET \_\_\_\_\_ OF X



1 THIRD FLOOR DEMOLITION PLAN  
Scale: 1/4" = 1'-0"





1 FOURTH FLOOR DEMOLITION PLAN  
Scale: 1/4" = 1'-0"

FLAT STREET



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PURPOSE OF DRAWING:  
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47 FLAT STREET

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PREPARED FOR:  
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REVISION:

**DEMO FOURTH FLOOR PLAN**

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CHKD. BY	Checker
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DATE	06/27/2020
PROJECT NUM:	19-076

DWG. NO.

**AD-104**

SHEET OF X



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47 FLAT STREET

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REVISION:



**DEMO ROOF PLAN**

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DES. BY \_\_\_\_\_ Designer

DWN. BY \_\_\_\_\_ Author

CHKD. BY \_\_\_\_\_ Checker

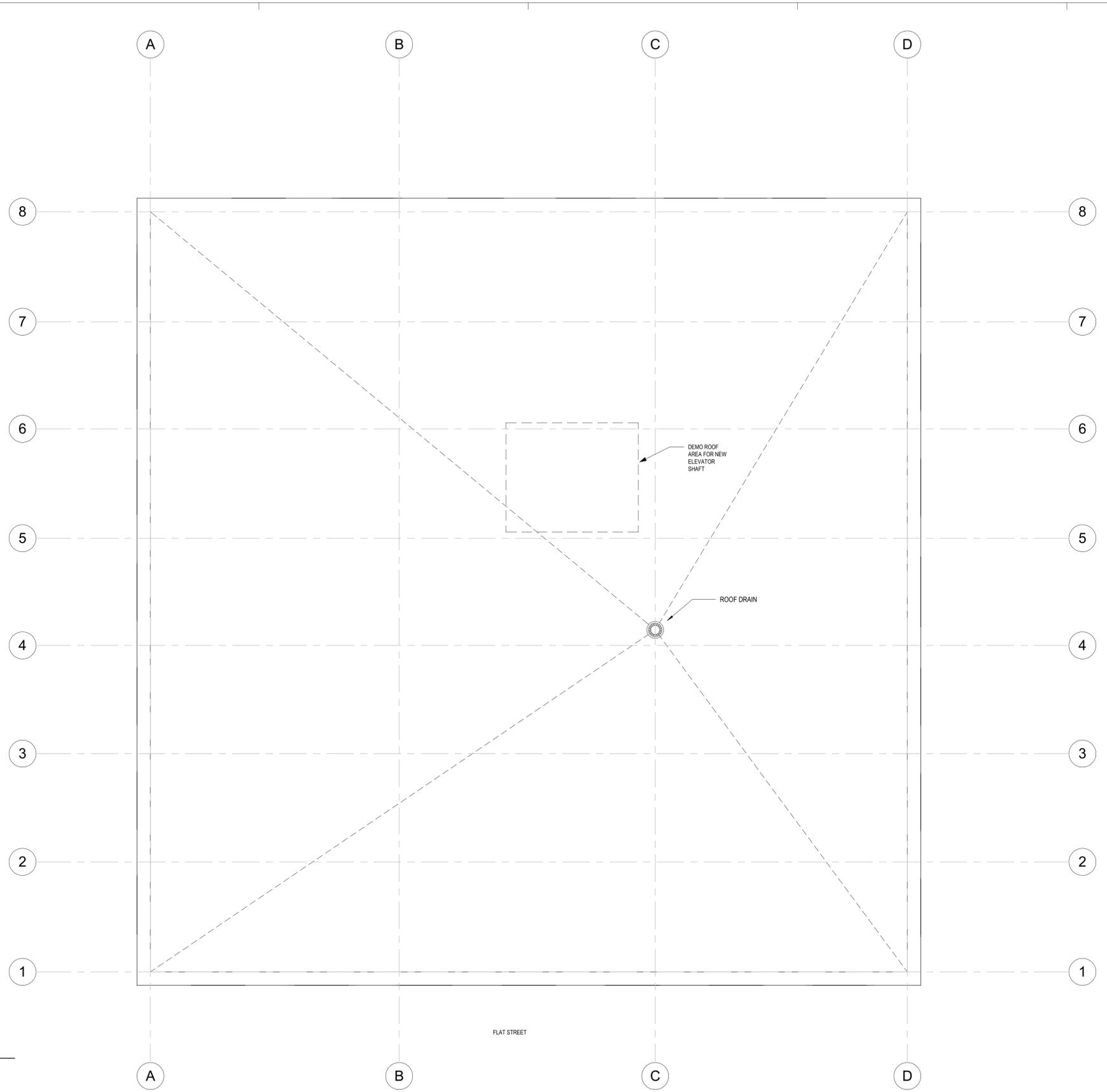
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DATE \_\_\_\_\_ 05/27/2020

PROJECT NUM: \_\_\_\_\_ 19-076

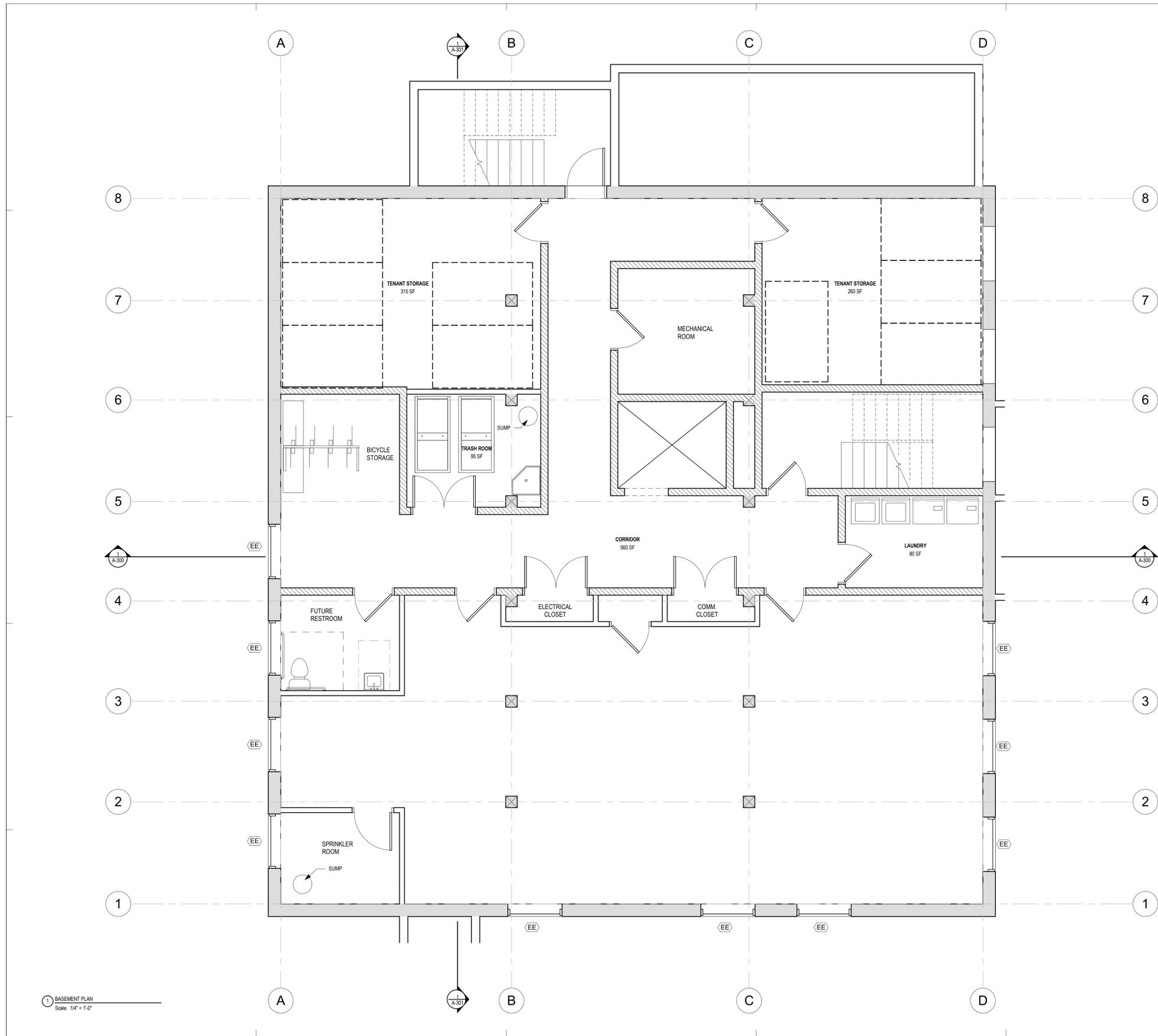
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**AD-105**

SHEET \_\_\_\_\_ OF X



1 ROOF DEMOLITION PLAN  
Scale: 1/4" = 1'-0"





**WALL TYPE LEGEND**

MARK	DESCRIPTION
[Symbol]	EXISTING EXTERIOR WALL 3 WYTHE BRICK WALL
[Symbol]	NEW EXTERIOR WALL (1) LAYER 5/8" GYPSUM WALLBOARD 2x6 STUDS @ 16" O.C. w/ 5-1/2" DENSE PACK CELLULOSE CAVITY INSULATION 1/2" PLYWOOD SHEATHING, ALL SEAMS TAPED WEATHER RESISTANT BARRIER 1-1/2" CONTINUOUS POLYISO INSULATION FIBER CEMENT LAP SIDING
[Symbol]	UNIT SEPARATION WALL (1) LAYER 5/8" GYPSUM WALLBOARD 1/2" RESILIENT CHANNEL 2x6 STUDS @ 16" O.C. w/ 5-1/2" ACOUSTIC BATT INSULATION (1) LAYER 5/8" GYPSUM WALLBOARD
[Symbol]	PARTITION WALL (1) LAYER 5/8" GYPSUM WALLBOARD 2x4 STUDS @ 16" O.C. w/ 5-1/2" ACOUSTIC BATT INSULATION (1) LAYER 5/8" GYPSUM WALLBOARD

**WINDOW TYPE LEGEND**

MARK	DESCRIPTION
(AE)	EXISTING 88 WINDOW
(A)	NEW 88 WINDOW
(B)	NEW 1/1 WINDOW
(CE)	EXISTING STOREFRONT
(C)	NEW STOREFRONT
(D)	NEW 1/1 WINDOW
(EE)	EXISTING BASEMENT WINDOW

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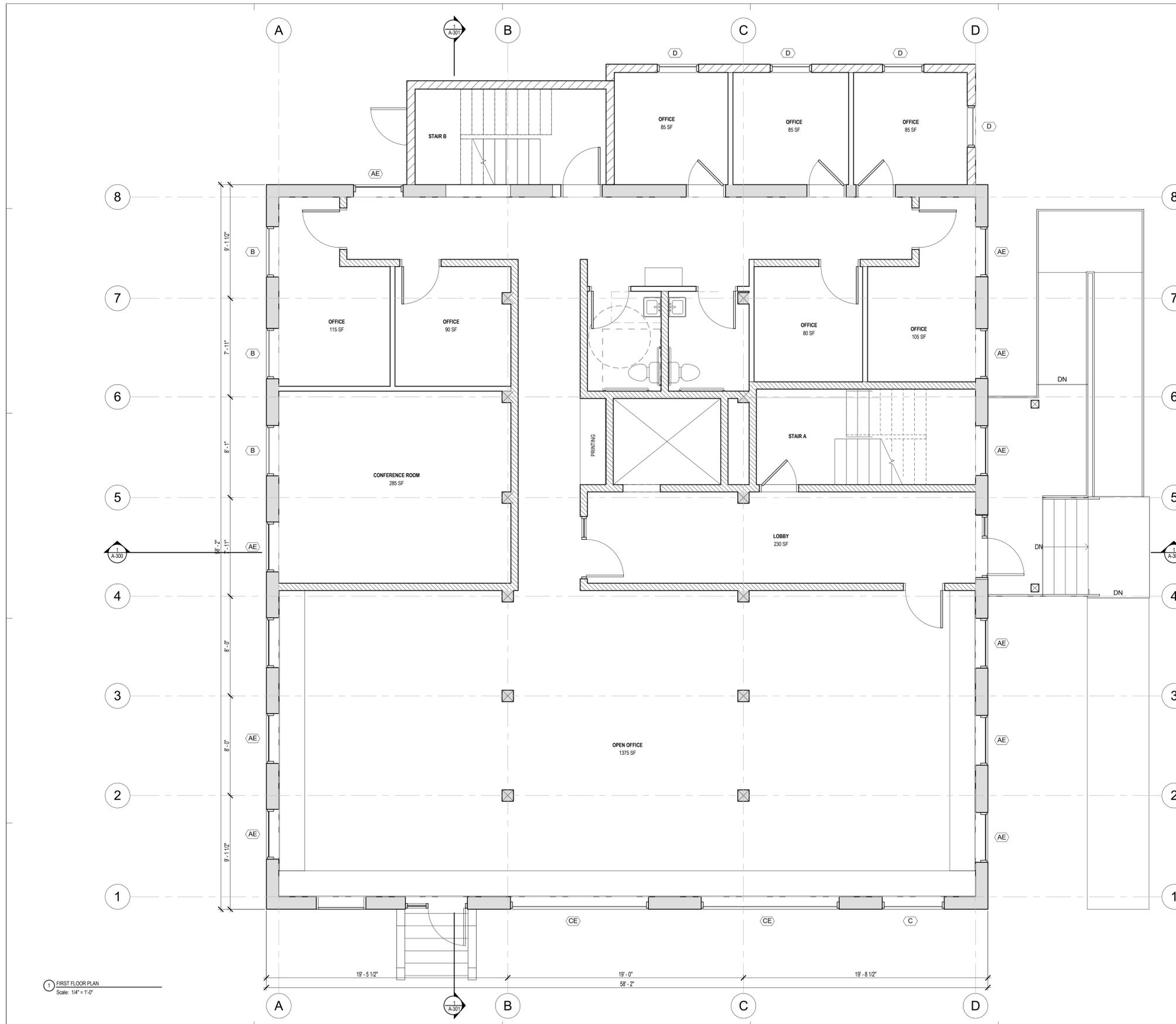

**BASEMENT PLAN**

DO NOT SCALE DRAWINGS

DES. BY	
DWN. BY	
CHKD. BY	
SCALE	AS SHOWN
DATE	05/20/2020
PROJECT NUM:	19-076
DWG. NO.	<b>A-100</b>
SHEET	OF X

1 BASEMENT PLAN  
Scale: 1/4" = 1'-0"





**WALL TYPE LEGEND**

MARK	DESCRIPTION
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	NEW 88 WINDOW
	NEW 1/1 WINDOW
	EXISTING STOREFRONT
	NEW STOREFRONT
	NEW 1/1 WINDOW
	EXISTING BASEMENT WINDOW

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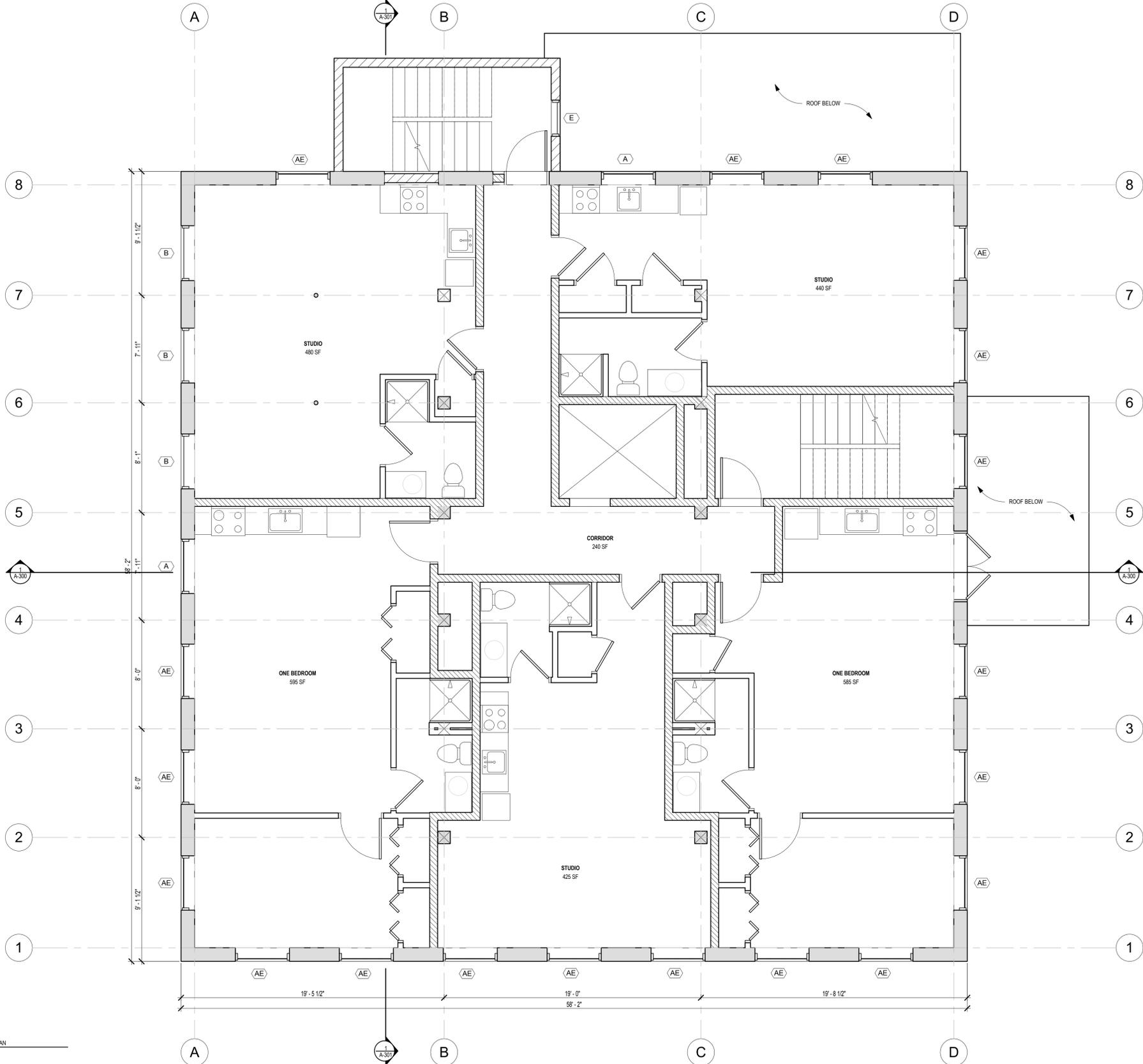
REVISION:

**FIRST FLOOR PLAN**

DO NOT SCALE DRAWINGS

DES. BY	Designer
DWN. BY	Author
CHKD. BY	Checker
SCALE	AS SHOWN
DATE	05/20/2020
PROJECT NUM:	19-076
DWG. NO.	<b>A-101</b>
SHEET	OF X

1 FIRST FLOOR PLAN  
 Scale: 1/4" = 1'-0"



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[Symbol]	UNIT SEPARATION WALL (1) LAYER 5/8" GYPSUM WALLBOARD 1/2" RESILIENT CHANNEL 2x6 STUDS @ 16" O.C. w/ 5-1/2" ACOUSTIC BATT INSULATION (1) LAYER 5/8" GYPSUM WALLBOARD
[Symbol]	PARTITION WALL (1) LAYER 5/8" GYPSUM WALLBOARD 2x4 STUDS @ 16" O.C. w/ 5-1/2" ACOUSTIC BATT INSULATION (1) LAYER 5/8" GYPSUM WALLBOARD

**WINDOW TYPE LEGEND**

MARK	DESCRIPTION
(AE)	EXISTING 88 WINDOW
(A)	NEW 88 WINDOW
(B)	NEW 1/1 WINDOW
(CE)	EXISTING STOREFRONT
(C)	NEW STOREFRONT
(D)	NEW 1/1 WINDOW
(EE)	EXISTING BASEMENT WINDOW

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PURPOSE OF DRAWING:  
NOT FOR CONSTRUCTION

47 FLAT STREET  
47 FLAT STREET  
BRATTLEBORO, VT 05302  
PREPARED FOR:  
M&S DEVELOPMENT

REVISION:

--	--

**SECOND FLOOR PLAN**

DO NOT SCALE DRAWINGS

DES. BY	Designer
DWN. BY	Author
CHKD. BY	Checker
SCALE	AS SHOWN
DATE	05/20/2020
PROJECT NUM:	19-076
DWG. NO.	<b>A-102</b>
SHEET	OF X

1 SECOND FLOOR PLAN  
Scale: 1/4" = 1'-0"



PURPOSE OF DRAWING:  
 NOT FOR CONSTRUCTION

47 FLAT STREET

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 M&S DEVELOPMENT

REVISION:

THIRD FLOOR PLAN

DO NOT SCALE DRAWINGS

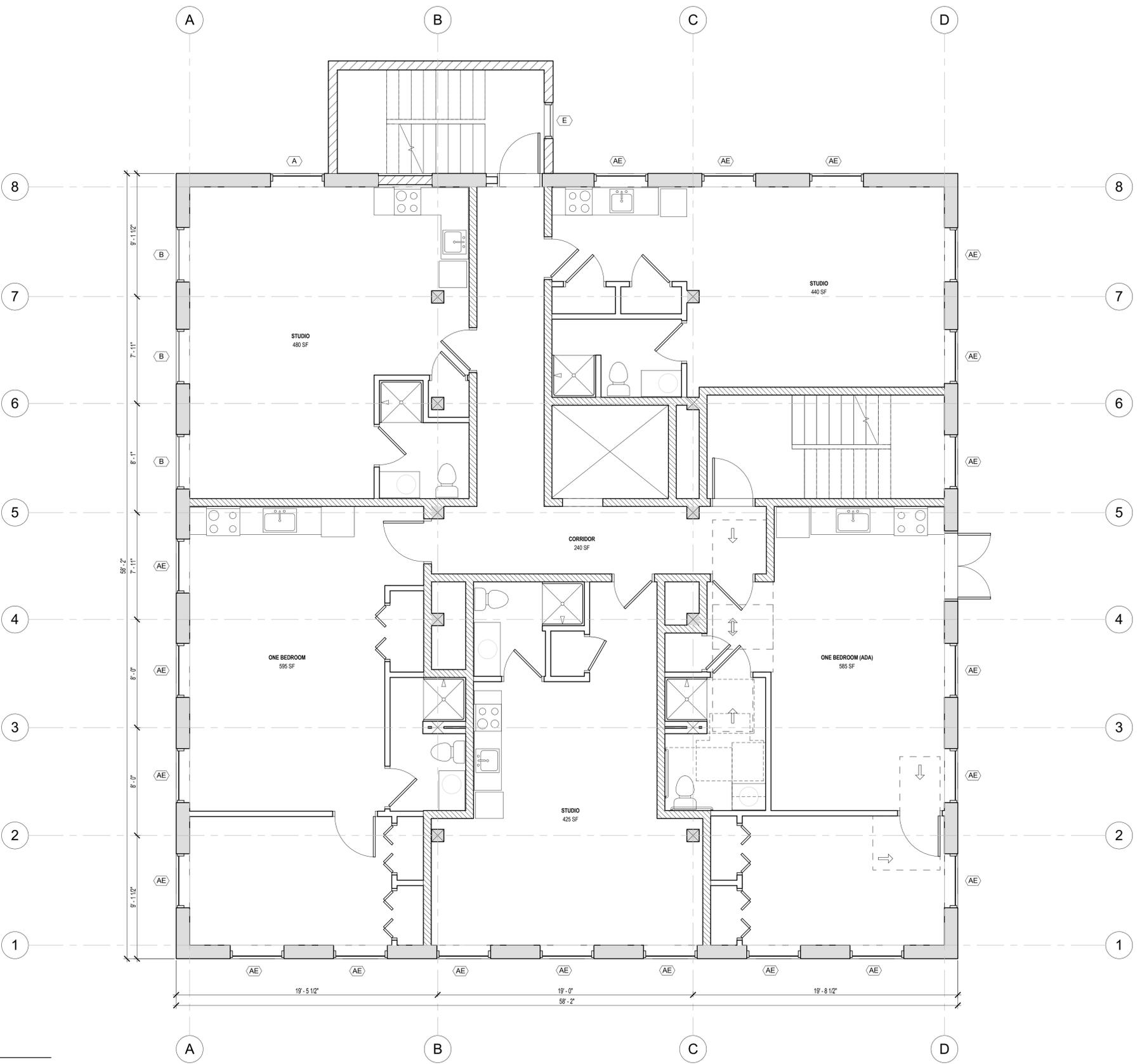
DES. BY	Designer
DWN. BY	Author
CHKD. BY	Checker
SCALE	AS SHOWN
DATE	05/20/2020
PROJECT NUM:	19-076
DWG. NO.	

**A-103**  
 SHEET OF X

WALL TYPE LEGEND	
MARK	DESCRIPTION
	EXISTING EXTERIOR WALL 3 WYTHE BRICK WALL
	NEW EXTERIOR WALL (1) LAYER 5/8" GYPSUM WALLBOARD 2x6 STUDS @ 16" O.C. w/ 5-1/2" DENSE PACK CELLULOSE CAVITY INSULATION 1/2" PLYWOOD SHEATHING, ALL SEAMS TAPED WEATHER RESISTANT BARRIER 1-1/2" CONTINUOUS POLYISO INSULATION FIBER CEMENT LAP SIDING
	UNIT SEPARATION WALL (1) LAYER 5/8" GYPSUM WALLBOARD 1/2" RESILIENT CHANNEL 2x6 STUDS @ 16" O.C. w/ 5-1/2" ACOUSTIC BATT INSULATION (1) LAYER 5/8" GYPSUM WALLBOARD
	PARTITION WALL (1) LAYER 5/8" GYPSUM WALLBOARD 2x4 STUDS @ 16" O.C. w/ 5-1/2" ACOUSTIC BATT INSULATION (1) LAYER 5/8" GYPSUM WALLBOARD

WINDOW TYPE LEGEND	
MARK	DESCRIPTION
	EXISTING 88 WINDOW
	NEW 88 WINDOW
	NEW 1/1 WINDOW
	EXISTING STOREFRONT
	NEW STOREFRONT
	NEW 1/1 WINDOW
	EXISTING BASEMENT WINDOW



1 THIRD FLOOR PLAN  
 Scale: 1/4" = 1'-0"

PURPOSE OF DRAWING:  
 NOT FOR CONSTRUCTION

47 FLAT STREET

47 FLAT STREET  
 BRATTLEBORO, VT 05302  
 PREPARED FOR:  
 M&S DEVELOPMENT

REVISION:

**FOURTH FLOOR PLAN**

DO NOT SCALE DRAWINGS

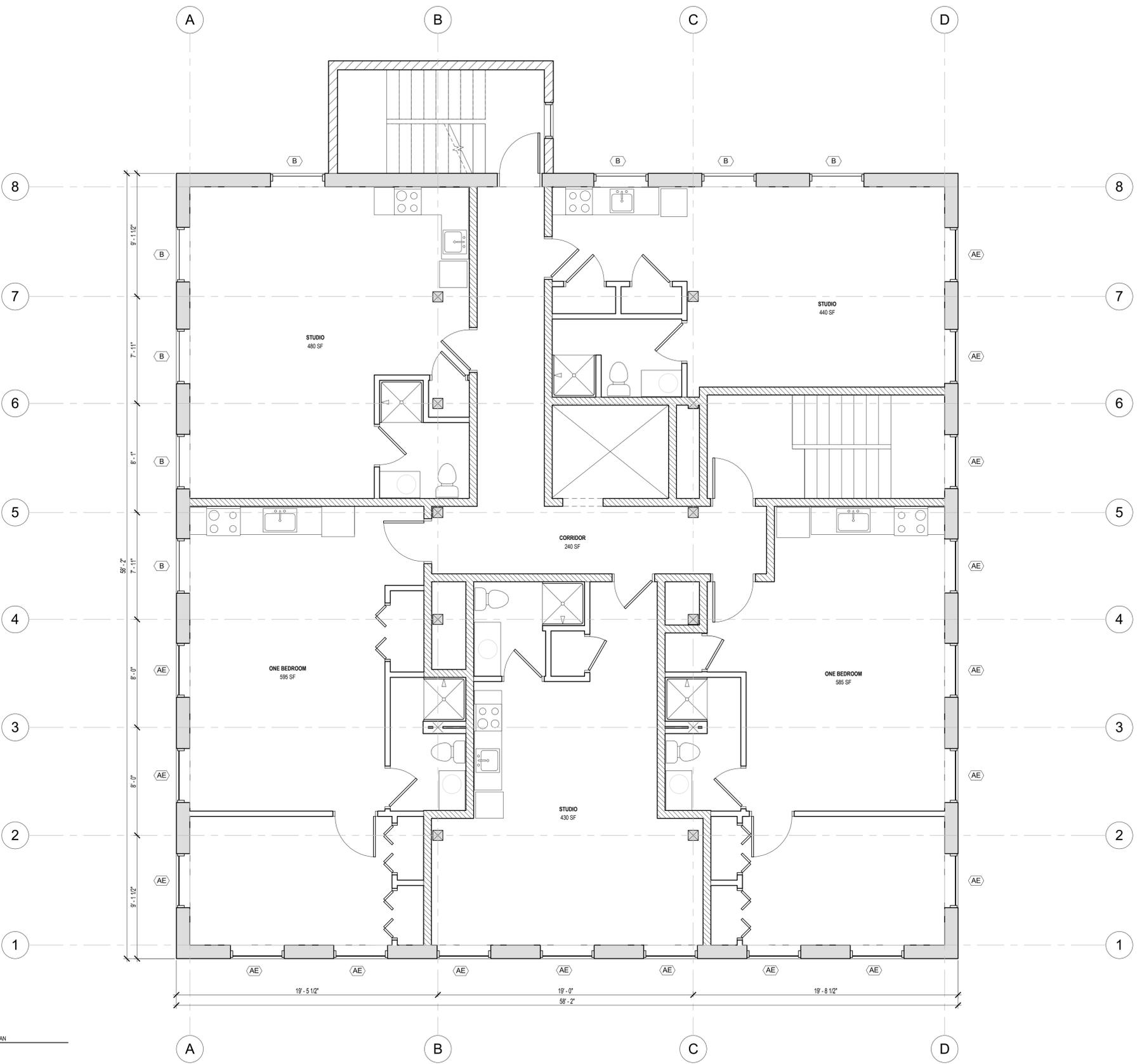
DES. BY	Designer
DWN. BY	Author
CHKD. BY	Checker
SCALE	AS SHOWN
DATE	05/20/2020
PROJECT NUM:	19-076
DWG. NO.	

**A-104**  
 SHEET OF X

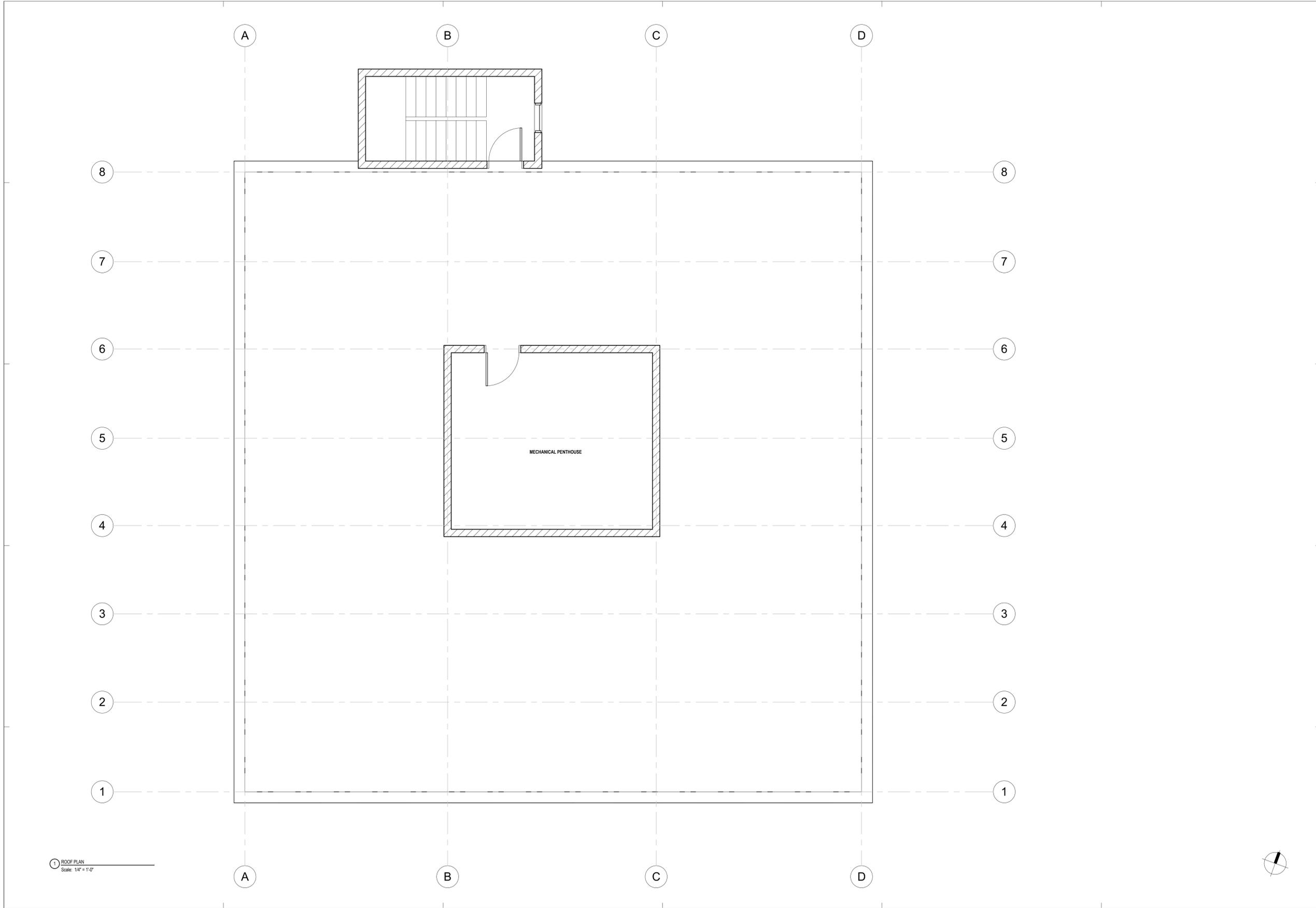
WALL TYPE LEGEND	
MARK	DESCRIPTION
	EXISTING EXTERIOR WALL 3 WYTHE BRICK WALL
	NEW EXTERIOR WALL (1) LAYER 5/8" GYPSUM WALLBOARD 2x6 STUDS @ 16" O.C. w/ 5-1/2" DENSE PACK CELLULOSE CAVITY INSULATION 1/2" PLYWOOD SHEATHING, ALL SEAMS TAPED WEATHER RESISTANT BARRIER 1-1/2" CONTINUOUS POLYISO INSULATION FIBER CEMENT LAP SIDING
	UNIT SEPARATION WALL (1) LAYER 5/8" GYPSUM WALLBOARD 1/2" RESILIENT CHANNEL 2x6 STUDS @ 16" O.C. w/ 5-1/2" ACOUSTIC BATT INSULATION (1) LAYER 5/8" GYPSUM WALLBOARD
	PARTITION WALL (1) LAYER 5/8" GYPSUM WALLBOARD 2x4 STUDS @ 16" O.C. w/ 5-1/2" ACOUSTIC BATT INSULATION (1) LAYER 5/8" GYPSUM WALLBOARD

WINDOW TYPE LEGEND	
MARK	DESCRIPTION
	EXISTING 88 WINDOW
	NEW 88 WINDOW
	NEW 1/1 WINDOW
	EXISTING STOREFRONT
	NEW STOREFRONT
	NEW 1/1 WINDOW
	EXISTING BASEMENT WINDOW



1 FOURTH FLOOR PLAN  
 Scale: 1/4" = 1'-0"



1 ROOF PLAN  
Scale: 1/4" = 1'-0"

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PURPOSE OF DRAWING:  
NOT FOR CONSTRUCTION



47 FLAT STREET  
  
47 FLAT STREET  
BRATTLEBORO, VT 05302  
PREPARED FOR:  
M&S DEVELOPMENT

REVISION:

ROOF PLAN	
DO NOT SCALE DRAWINGS	
DES. BY	Designer
DWN. BY	Author
CHKD. BY	Checker
SCALE	AS SHOWN
DATE	05/20/2020
PROJECT NUM:	19-076
DWG. NO.	A-105

SHEET OF X





PURPOSE OF DRAWING:  
NOT FOR CONSTRUCTION

47 FLAT STREET

47 FLAT STREET  
BRATTLEBORO, VT 05302

PREPARED FOR:  
M&S DEVELOPMENT

REVISION:

**SOUTH ELEVATION**

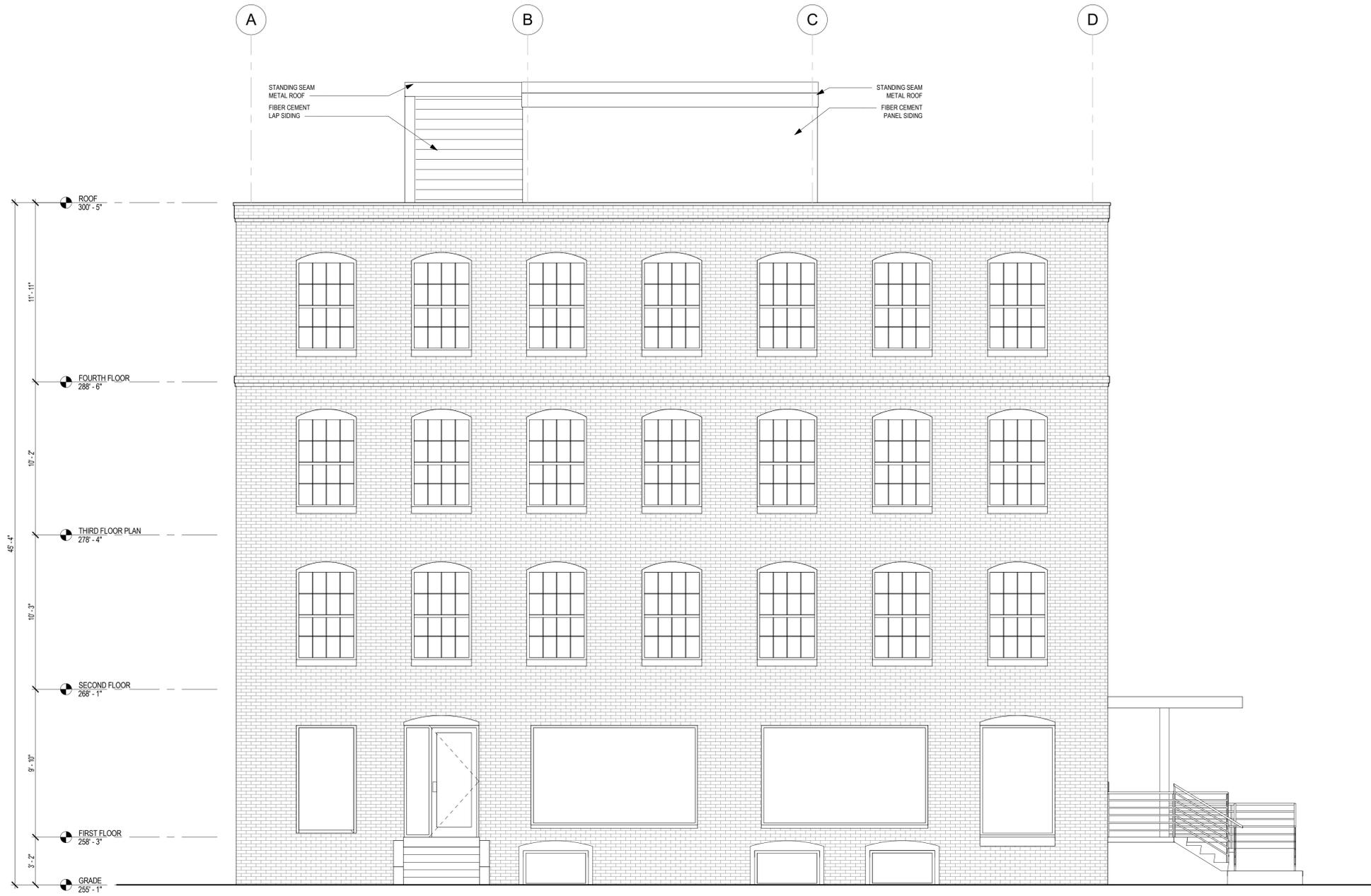
DO NOT SCALE DRAWINGS

DES. BY	Designer
DWN. BY	Author
CHKD. BY	Checker
SCALE	AS SHOWN
DATE	05/20/2020
PROJECT NUM:	19-076

DWG. NO.

**A-200**

SHEET OF X



1 SOUTH ELEVATION  
Scale: 1/4" = 1'-0"



PURPOSE OF DRAWING:  
NOT FOR CONSTRUCTION

47 FLAT STREET

47 FLAT STREET  
BRATTLEBORO, VT 05302

PREPARED FOR:  
M&S DEVELOPMENT

REVISION:

EAST ELEVATION

DO NOT SCALE DRAWINGS

DES. BY	Designer
DWN. BY	Author
CHKD. BY	Checker
SCALE	AS SHOWN
DATE	05/20/2020
PROJECT NUM:	19-076

DWG. NO.

A-201

SHEET OF X



1 EAST ELEVATION  
Scale: 1/4" = 1'-0"



PURPOSE OF DRAWING:  
NOT FOR CONSTRUCTION

47 FLAT STREET

47 FLAT STREET  
BRATTLEBORO, VT 05302

PREPARED FOR:  
M&S DEVELOPMENT

REVISION:

**NORTH ELEVATION**

DO NOT SCALE DRAWINGS

DES. BY	Designer
DWN. BY	Author
CHKD. BY	Checker
SCALE	AS SHOWN
DATE	05/20/2020
PROJECT NUM:	19-076

DWG. NO.

**A-202**

SHEET OF X



1 NORTH ELEVATION  
Scale: 1/4" = 1'-0"



PURPOSE OF DRAWING:  
NOT FOR CONSTRUCTION

47 FLAT STREET

47 FLAT STREET  
BRATTLEBORO, VT 05302

PREPARED FOR:  
M&S DEVELOPMENT

REVISION:

WEST ELEVATION

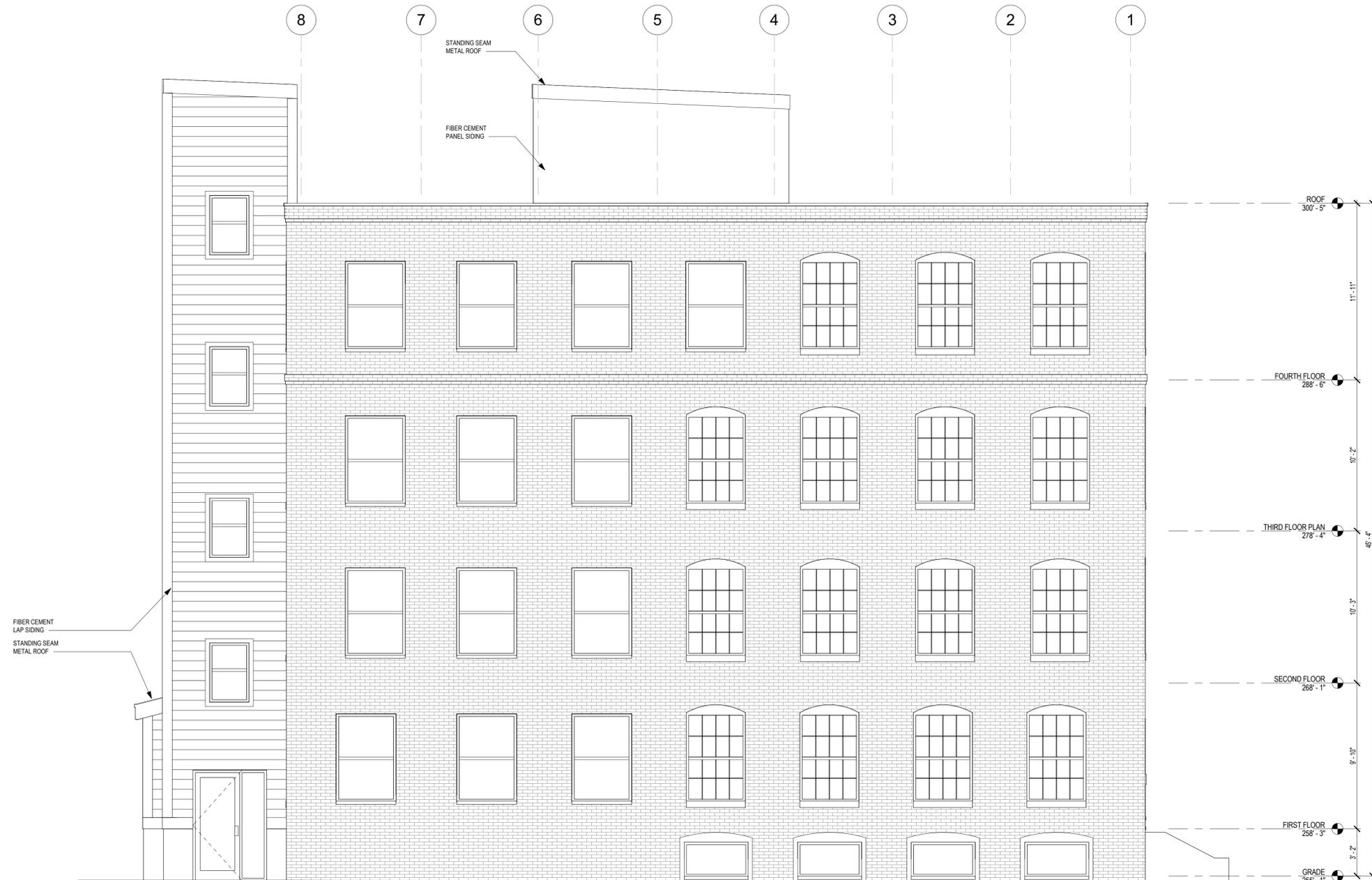
DO NOT SCALE DRAWINGS

DES. BY	Designer
DWN. BY	Author
CHKD. BY	Checker
SCALE	AS SHOWN
DATE	05/20/2020
PROJECT NUM:	19-076

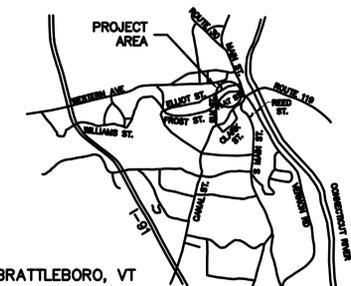
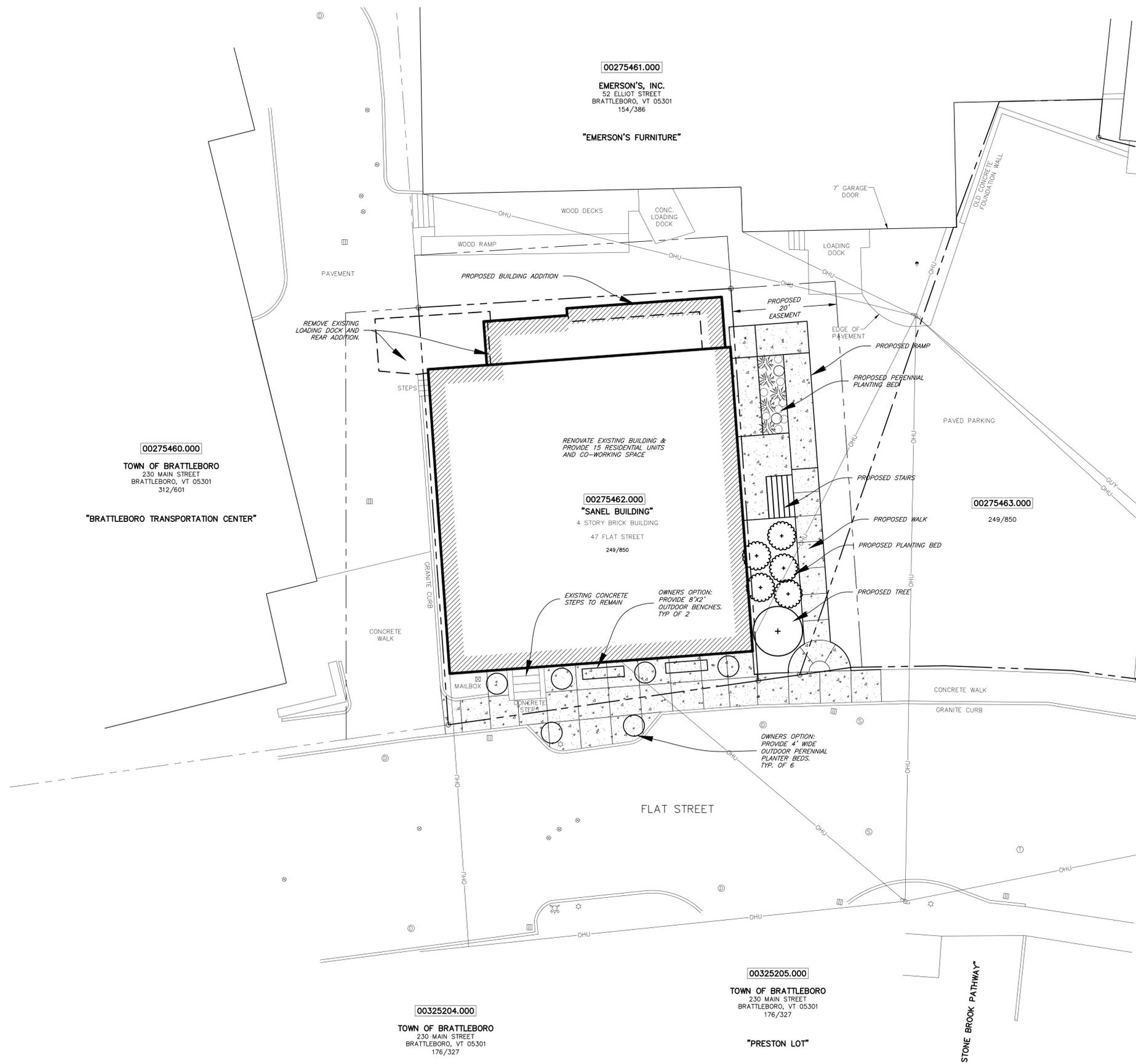
DWG. NO.

A-203

SHEET OF X



WEST ELEVATION  
Scale: 1/4" = 1'-0"



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BRATTLEBORO, VT  
**LOCUS**

PURPOSE OF DRAWING:  
JUNE 9, 2020  
FOR PERMIT REVIEW  
NOT FOR CONSTRUCTION

**47 FLAT STREET**

47 FLAT STREET  
BRATTLEBORO, VERMONT

PREPARED FOR:  
**M&S DEVELOPMENT**

P.O. BOX 1586  
BRATTLEBORO, VERMONT

DATE:  
REVISION:

**CONCEPT PLAN**

DES. BY	TES
DWN. BY	TES
CHKD. BY	BDS
SCALE	1"=10'
DATE	6/9/2020
PROJECT NUM:	18-076
DWG. NO.	

**Fig-1**